

Jo

As you as all too aware, this has been a difficult scheme from the outset with a number of involved design considerations in play. Unfortunately this has not been helped by the change of ownership and the way the approved scheme has only been partially adopted. We are now left in a position where we have to compare the scheme as approved with the scheme as now proposed and come to an overall view as to whether the latter represents a dilution of quality over the former.

In this regard, our job has been made that much harder by the applicants having only submitted fresh elevations. These really only tell half the story and do not tally with certain aspects of the approved floor plans which are still being relied on (albeit seemingly without the permission of the original agent). There is therefore more than a degree of guesswork involved in assessing the impact of some of the proposed changes.

From what we can deduce, the overall form and basic composition of the extension is as was approved. Hence, from many people's point of view, the development as revised, at least on a superficial level, would be much the same as that approved. It is only when one studies the elevations more closely that the individual variations begin to announce themselves. However, it has to be said that this is a far from complete picture, and it is one which affectively bars us from building up a true picture of the development in its completed form.

Breaking this down into some of its constituents parts: -

- On the north and south elevations, It is not clear what would happen at the junction of the existing building and extension – the approved layout plans show changes of plane and a slight set back but these do not appear to be reflected in the proposed elevation (the oversailing string courses on the front façade appear cut off). Particularly as the steel work appears to actually step forward on site, it is vital that we gain a proper understanding of the relationship between the existing and proposed elements, and the materials used thereon.
- Also on the north and south elevations, some of the small square windows have been moved on the elevations and therefore do not correspond with the retained layout plans.
- On the west elevation, there is a lack of clarity on how the transition between “Wall Specification 1” and “Wall Specification 2” would be achieved – again the approved layout plans show a step but the steelwork on site appears to run through on the same plane.
- Where the west-facing gable returns onto the north elevation, the standing seam roof has been reduced in depth and appears to no longer be supported by a deep and feathered eaves line – the net result appears relatively ‘mean’ by comparison.
- Extending the above point, the suggestion from the elevations is that deep overhang over the west-facing gable would be replaced with a plain and potentially flush fascia. Whether or not this is down to the draughtsmanship or not is unclear.
- On the south elevation, the dormer has grown in depth and would be more prominent as a result. This has pushed the solar panels further up the roofslope almost to the ridge. The diminishing eaves line is also repeated on this facade.
- The elevations appear to have dropped the approved brick plinth which would have projected out of the elevations at low level.
- The construction of the balconies has changed.

Taking these various changes together, the initial impression given is that the original scheme has been taken and watered down. However, to precisely what extent this matters remains to be fully established. Whilst some of the changes might well be substantive causes for concern, others may be more purist matters which would not significantly diminish the overall quality. As we stand, however, there is too much uncertainty to enable Conservation and Design (C&D) to form a definite

view. Instead, it is recommended that the applicant is asked to provide additional clarity on the changes and respond to the initial concerns expressed.

Finally, for the record, C&D are mindful of the passionate representations received from the original architect. Whilst perfectly understandable, they are not passions shared by C&D having objected to the original application. Therefore, with the permission having affectively been handed over through the sale of the site, this new application must be considered on its own planning merits. It is therefore vital that we focus on the scheme as now proposed and gain a fuller understanding of whether it would be compliant with paras 130 and 193 of the NPPF or not.

**Chris Young**

Conservation Design & Landscape Team Ldr

**From:** [Conservation & Design](#)  
**To:** PF/20/1564 - Burlington Hotel, Sheringham  
**Cc:** 08 January 2021 09:30:34  
**Subject:**  
**Date:**

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Jo

Having been drip fed details of this scheme over the last 18 months or so, and having expended considerable time and effort on trying to work out what is actually proposed, we can now at least welcome what would appear to be a complete suite of drawings. At long last this now provides us with greater certainty in terms of what we are being asked to consider.

Before going into this in more detail, however, it is worth saying that the role of Conservation & Design (and indeed the wider planning system) is not to get drawn into the minutiae around the physical construction of the new build – that is essentially a matter for the architect/engineer in association with the building inspector. Instead our role is to assess the external appearance of the building and judge whether it would have a positive or negative impact upon the local built environment and any designations therein. In this case, that judgement obviously needs to be made in the context of what Development Committee previously approved. As a result, para 130 of the NPPF gets drawn into the equation in the sense that LPAs should not allow the quality of approved developments to be “*materially diminished between permission and completion, as a result of changes being made to the permitted scheme*”.

Against this backdrop, it is now clear that what is now proposed involves innumerable changes to what was originally approved. Our task is therefore to go through these variations and decide which would make a material difference and which would not. This is by no means easy given the building in question and the design that was approved. However, running through the three elevations in turn, and focussing on the most substantive changes, C&D can now conclude as follows: -

#### North Elevation

- As approved, the extension purposely featured an indented step back from the front corner of the existing building. This was to ensure it paid due deference to the host structure and so that it had some regard for the stone dressings which turned the corner onto the west-facing gable (NB: this happens on 4 separate occasions and not just at FF floor level as suggested in the agent’s notes – see the white circles in the image below). As proposed, however, the extension has affectively been pulled forward in its entirety and now shows a projecting wall springing out of this corner to meet a new steel corner post. Not only is this likely to see the loss, concealment and/or cutting through of these important string courses, but it will also result in the new build completely trumping the original hotel. On a point of detail, it is noted that this new corner post is shown faced in brick slips on the submitted elevation. However, the email below refers instead to circular powder coated flashing instead. Either way this alteration must be considered harmful.



- Similarly, the extension as approved made allowances for the decorative cornice which returns around the west gable under a small tiled roof. This was in recognition of the

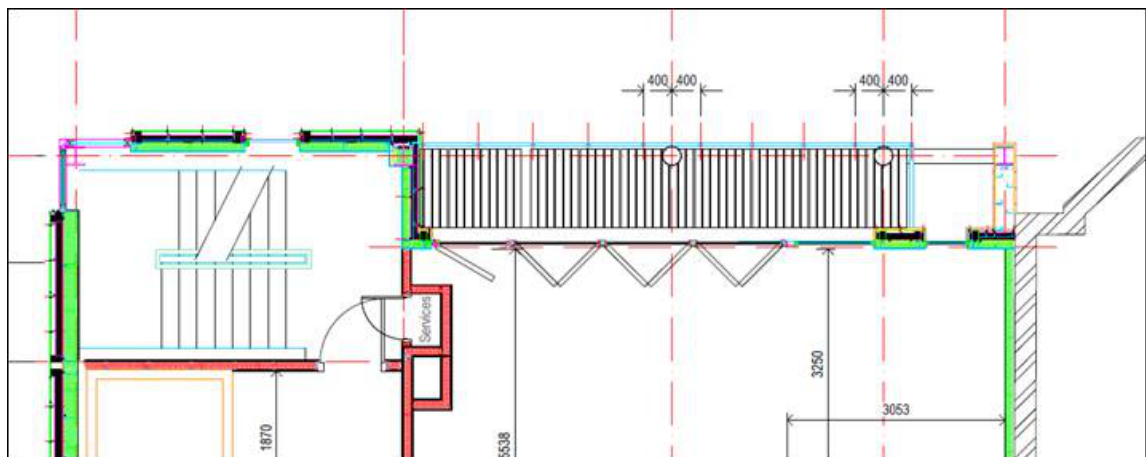
importance of this feature in capping both the main elevation and the east-facing return (in which a similar detail can be seen). The second photo above shows this feature more clearly prior to its apparent removal.

As proposed, however, it would appear that this has been unceremoniously chopped off so that the steelwork can be driven past and out to meet the new corner post (see yellow circle in the image above). This alteration therefore has to be considered insensitive and harmful.

- As approved, the balconies were cantilevered out from the main elevation and would have slotted into the alcove made by the projecting lift/stair tower. They also featured decks with tapered profiles.

As proposed, however, the balconies would essentially be more fully absorbed into the facade as a result of the horizontal steels spanning all the way across to the existing building (and the new corner post). Not only would this leave a rather curious arrangement where the decks appear to carry on but the actual balconies and ballustrading stop short (thus leaving a void as shown below), but it would more importantly be at the expense of some of the original modelling and additive form. This comparative lack of depth, allied to the abandonment of the tapering profile on the decks, would rob the structure of visual interest and elegance. Additional harm therefore would result.

*\* In offering the above comment, C&D are clearly mindful that the ballustrading and the upright supports have been approved as part of the recent condition discharge application. This, however, does not change the substance of the comment as the earlier submitted details were presented without any accompanying floor plans and featured an earlier iteration of the front elevation (Rev C) in which the horizontal steels stopped well short of the existing building. Therefore, whilst C&D remain of the view that the actual ballustrading and vertical supports remain acceptable, the overall impact of the changes made is not.*



- As approved, the attic storey sprung from the eaves line on the existing building and thus finished broadly in line with the head of the existing dormer windows. It also featured a decent roof cap which was pitched at the same angle as the existing hotel. As proposed, however, the changing position of the floor levels below has jacked up the position of the attic storey such that it now springs from above the eaves line. It would therefore feature a (presumably) shallower-pitched roof with less presence. In addition, this change would extend the animation on elevation such that the new build would be more impactful at high level (something which is definitely not in the spirit of the original hotel).  
*\* In offering this comment, C&D are rather less concerned about the changing position of the smaller square windows below which as approved did not obviously align with the existing building.*

- It is not entirely clear what is proposed in respect of the front lean-to canopy over the entrance. As proposed, it has been shown as a simple line on both the northern and western elevations which clearly cannot be the case. It is therefore assumed that the full extent of the lean-to has simply not been drawn on the northern elevation.
- The change of facing materials is something that C&D should perhaps touch upon. As approved, these primarily featured a polychromatic mix of modular terracotta panels. As now proposed, however, these have been replaced by brick slips and rainscreen panels. With an overtly contrasting result inevitable either way, however, C&D do not consider this change to be materially harmful (hence why the revised materials were approved as part of the previous condition discharge).

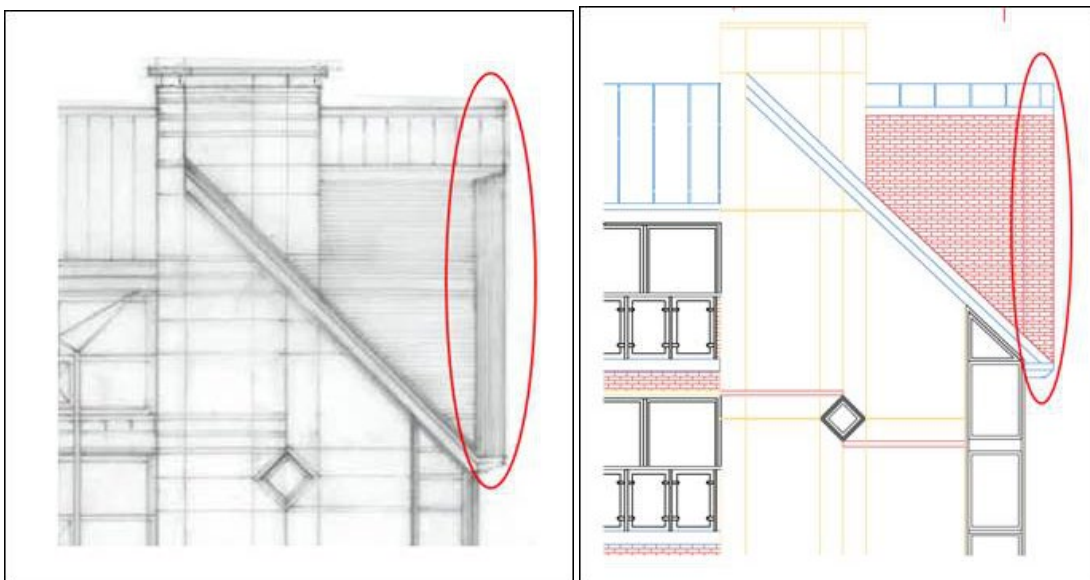
### West Elevation

- As approved, the transition from the lift/stair tower to the accommodation was marked not only by a change of facing material but also by a change in the plane of the elevation. Not only did this reinforce the junction between the north and west-facing gables but it also added depth and interest to the elevation.

As proposed, however, this step would be removed and the two materials would be left to just run into each other with a flush butt joint. The net result would remove this important articulation and thus leave us with a comparatively flat and heavy looking elevation. It would also remove the ability to complete the feathered eaves line on the lift/stair tower.

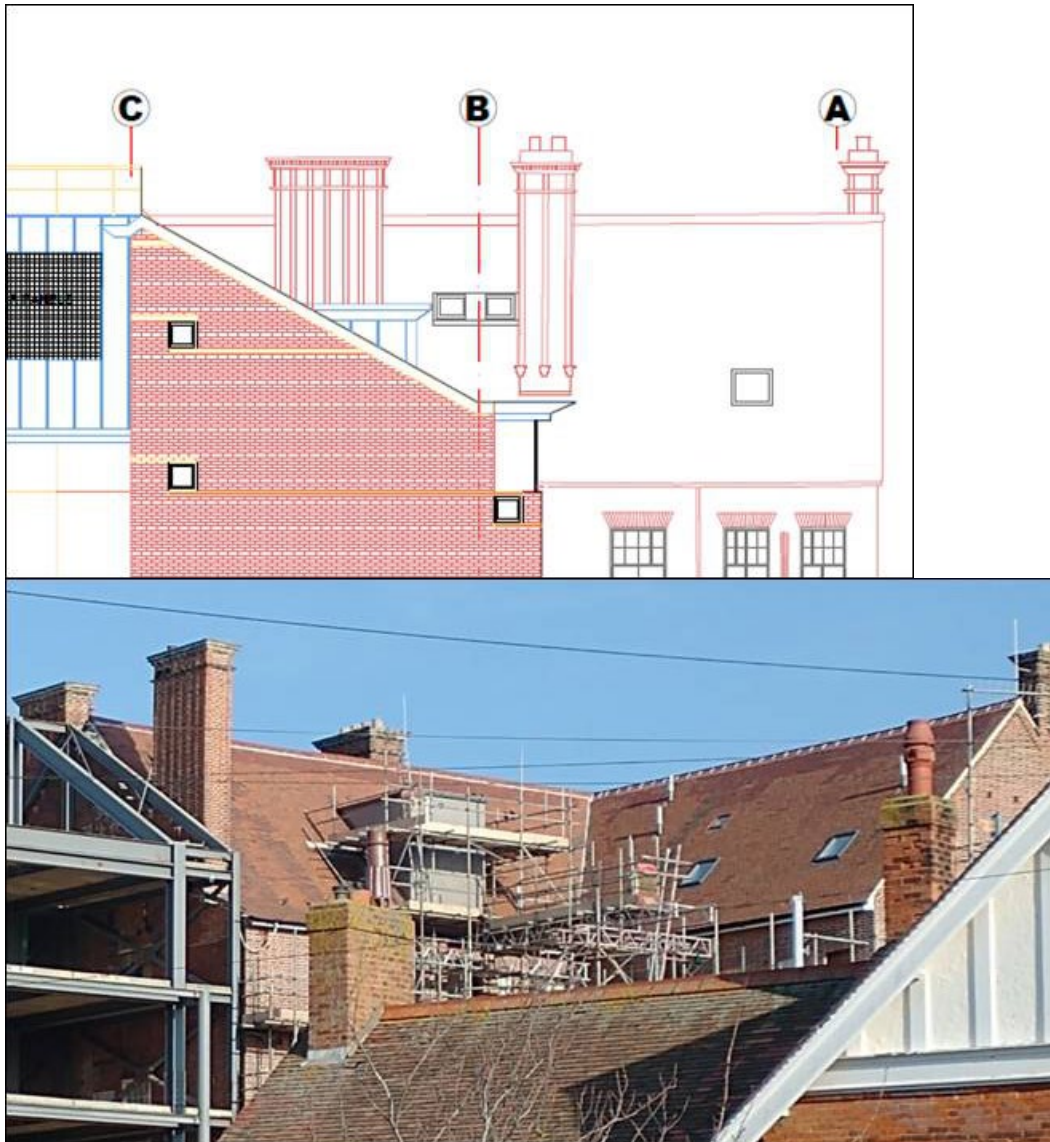
- As approved, the west-facing gable featured a main pitch which appeared to match that of the main building. As a result, it had a degree of compatibility and an upright proportion which would have helped to draw the eye away from the overall scale and massing. It also featured a deep overhanging verge which would have provided a useful shadow line and visual cap.

As proposed, however, the pitch of the roof has been slackened off to allow for the jacking up of the eaves at the back of the new build – the consequence would be a weightier and less elegant looking gable. It would also seemingly no longer have the overhanging verge detail (at least from what we can infer from the northern elevation – see before and after extracts below). Instead the indication is that it would only be capped with a less effective fascia board (unless the brick slip hatching has been wrongly applied).



- On another point of detail, this elevation shows two large chimneystacks on the existing

building. However, only that on the gable end still appears to be in situ. Whether the applicants have knocked the other one down is unclear. The configuration of rooflights on the existing building also appears to be innaccurate (see images below).



### South Elevation

- As mentioned above, the south-facing roofslope as approved echoed the pitch of the building's existing roof. With it also springing from a point which was broadly equivalent to its original eaves line, there was a degree of compatibility across the existing and proposed elements.  
As proposed, however, the consequence of jacking up the roof pitch is to create an awkward upstand and tapering abutment between the two elements. Quite how this would be finished is not entirely clear from the plans submitted. However, resultant marriage is surely likely to be less comfortable. It would also seemingly be without the feathered eaves line again where the new meets the old.
- As for the connection below eaves line, the position is far from clear when one compares the plans with the position on site – the fact that the former only show the existing building in outline certainly does not help in this regard. However, as far as can be determined, there is another corner post which it appears would be concealed with brick slips. If this is the case, it would not be desirable if they simply finished flush with the existing brickwork (which looks

like it may be possible).

- As approved, the dormer on this elevation would already be a fairly large proposition by virtue of its overall width. At least, however, the steeper roof pitch enabled the depth of this feature to be kept down so that one of its dimensions would have been commensurate with its high level position.  
As proposed, however, the depth of the dormer (and its panes of glass) have been increased in size such that it would have an even greater impact within the roofscape. This is far from welcome given its likely visibility across the town.
- As regards the balconies on this elevation, they appear to generally accord with the position of those approved. Whilst the same cannot be said for the supports and the little square windows, it is not considered that this elevational re-ordering would materially harm the overall end result.

### Conclusion

Summarising, this is a scheme which has been both controversial and difficult from the outset. However, for better or worse it was approved and has set a form of benchmark against which we must judge these revised proposals. Unfortunately, in this regard, it has to be said that what is now before us is sadly lacking. For the reasons outlined above, C&D can only really conclude that the end result would not be of the same quality of the original proposal and would thus fail to accord with the provisions of para 130.

Whether this is down to original failings, cost-cutting or negligence is largely immaterial from a planning point of view. More important is what it would actually mean for the wider Sheringham Conservation Area. Here the conclusion is a simple one – due to the significance and prominence of the building, this is not a site where dilution can be contemplated. Instead, it demands the best possible result in order to give the scheme a fighting chance of preserving the overall significance of the designated area. Therefore, unless you feel that the public benefits accruing from the revised proposals outweigh the identified harm, the LPA would be obliged to refuse this application. In this regrettable event, the development being held up would be through no fault of the Council.

Chris



**From:** Chris Young <[\\_\\_\\_\\_\\_](#)>  
**Sent:** 02 February 2021 08:59  
**To:** Jo Medler <[\\_\\_\\_\\_\\_](#)>  
**Subject:** PF/20/1564 - Burlington Hotel, Sheringham

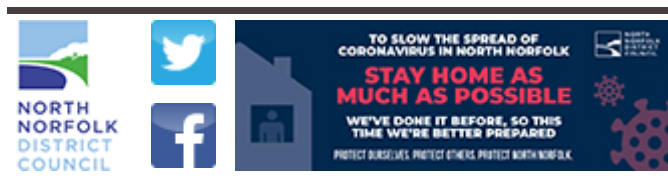
Jo

I refer to the amended plans and additional notes received on the 15<sup>th</sup> January and can now offer the following further C&D response.

For ease of reference and continuity, I have added comments below in red to those offered previously.

Chris

**Chris Young**  
Conservation Design & Landscape Team Ldr



**From:** Chris Young  
**Sent:** 08 January 2021 09:31  
**To:** Planning Consultation <[\\_\\_\\_\\_\\_](#)>  
**Cc:** Jo Medler <[\\_\\_\\_\\_\\_](#)>  
**Subject:** PF/20/1564 - Burlington Hotel, Sheringham

Jo

Having been drip fed details of this scheme over the last 18 months or so, and having expended considerable time and effort on trying to work out what is actually proposed, we can now at least welcome what would appear to be a complete suite of drawings. At long last this now provides us with greater certainty in terms of what we are being asked to consider.

Before going into this in more detail, however, it is worth saying that the role of Conservation & Design (and indeed the wider planning system) is not to get drawn into the minutiae around the physical construction of the new build – that is essentially a matter for the architect/engineer in association with the building inspector. Instead our role is to assess the external appearance of the building and judge whether it would have a positive or negative impact upon the local built environment and any designations therein. In this case, that judgement obviously needs to be made in the context of what Development Committee previously approved. As a result, para 130 of the NPPF gets drawn into the equation in the sense that LPAs should not allow the quality of approved developments to be “*materially diminished between permission and completion, as a result of changes being made to the permitted scheme*”.

Against this backdrop, it is now clear that what is now proposed involves innumerable changes to what was originally approved. Our task is therefore to go through these variations and decide which would make a material difference and which would not. This is by no means easy given the building in question and the design that was approved. However, running through the three elevations in turn, and focussing on the most substantive changes, C&D can now conclude as follows: -

### North Elevation

- As approved, the extension purposely featured an indented step back from the front corner of the existing building. This was to ensure it paid due deference to the host structure and so that it had some regard for the stone dressings which turned the corner onto the west-facing gable (NB: this happens on 4 separate occasions and not just at FF floor level as suggested in the agent's notes – see the white circles in the image below).

As proposed, however, the extension has affectively been pulled forward in its entirety and now shows a projecting wall springing out of this corner to meet a new steel corner post. Not only is this likely to see the loss, concealment and/or cutting through of these important string courses, but it will also result in the new build completely trumping the original hotel.

In the latest plans, the wall which was previously shown projecting out of the corner of the extension has been removed. Whilst that in theory should better reveal the corner of the existing building, in practice the gain is a relatively modest one with the corner post and (seemingly) return steels remaining in place. As such, the new build would continue to project in front of the original building and would thus still compromise the intended subservience in this area. Views of the stone dressings would therefore be through the steelwork rather than unhindered as approved.

On a point of detail, it is noted that this new corner post is shown faced in brick slips on the submitted elevation. However, the email below refers instead to circular powder coated flashing instead. Either way this alteration must be considered harmful.

The latest plans and notes have now clarified that this corner post would be left exposed rather than faced in brick slips. They also confirm that it will be circular in profile which is interesting given its current square profile – is the proposal really to dismantle this existing upright? Either way, the end result would unfortunately be a comparatively crude detail in which a fully expressed steel would rise full height up the elevation. In offering this comment, the structural justification for this post has been noted; i.e. to support the overhanging 5<sup>th</sup> floor canopy. Whilst the lack of an engineering qualification prevents this being directly challenged, the stated need is a surprising one with other options surely available to take up this relatively modest load; e.g. introducing additional vertical steels which are inset within the doors at attic level. Ironically the latest North Elevation appears to show just such a support. However, as this has been shown only above the left hand main upright, and because it does not correspond with the existing situation on site (in which the sloping steel rafters appear to come right down to the level of the attic balcony), it is not clear if this is by design or accident. Equally, we have differing accounts over whether the problem is an original oversight or a situation of the applicant's own making. As previously stated, however, this is largely an academic point in planning terms. More important is the fact that the change would be a retrograde one in design terms.



- Similarly, the extension as approved made allowances for the decorative cornice which returns around the west gable under a small tiled roof. This was in recognition of the importance of this feature in capping both the main elevation and the east-facing return (in which a similar detail can be seen). The second photo above shows this feature more clearly prior to its apparent removal.

As proposed, however, it would appear that this has been unceremoniously chopped off so that the steelwork can be driven past and out to meet the new corner post (see yellow circle in the image above). This alteration therefore has to be considered insensitive and harmful.

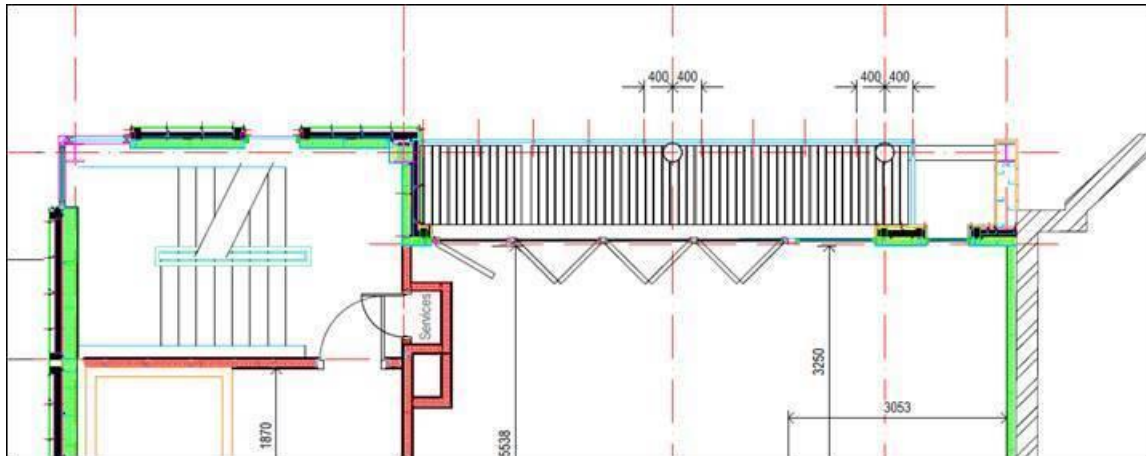
The latest information confirms that this eaves and cornice detail would be retained. Whilst on the face of it this is something that we should be able to welcome, there are two reasons why support cannot nicely be offered at the time of writing; i) it has already been removed and therefore cannot be retained – it would have to be reinstated, and ii) the actual act of reinstatement would surely be impeded by the return steelwork and the diagonal bracing. Even if it can physically be put back, it would be set in behind the corner post and would therefore lose some of its impact.

- As approved, the balconies were cantilevered out from the main elevation and would have slotted into the alcove made by the projecting lift/stair tower. They also featured decks with tapered profiles.

As proposed, however, the balconies would essentially be more fully absorbed into the facade as a result of the horizontal steels spanning all the way across to the existing building (and the new corner post). Not only would this leave a rather curious arrangement where the decks appear to carry on but the actual balconies and ballustrading stop short (thus leaving a void as shown below), but it would more importantly be at the expense of some of the original modelling and additive form. This comparative lack of depth, allied to the abandonment of the tapering profile on the decks, would rob the structure of visual interest and elegance. Additional harm therefore would result.

Reinstating the tapering profile to the four shorter balconies can be welcomed. However, it appears that this must be balanced against the depth of the decks having been simultaneously increased. Therefore, whilst they would sit a bit more comfortably into the alcove on the front elevation, they could also have a slightly heavier appearance. Additionally, it is noted that the short horizontal steels adjacent the original building have been removed from the proposed North Elevation, thus also doing away with the curious voids we had before. Whilst again fine in theory, there is surprisingly no commentary around when this might happen, or more importantly how the corner post would be supported laterally (surely it would not just be left floating with only minimal tying back into the main structure).

*\* In offering the above comment, C&D are clearly mindful that the ballustrading and the upright supports have been approved as part of the recent condition discharge application. This, however, does not change the substance of the comment as the earlier submitted details were presented without any accompanying floor plans and featured an earlier iteration of the front elevation (Rev C) in which the horizontal steels stopped well short of the existing building. Therefore, whilst C&D remain of the view that the actual ballustrading and vertical supports remain acceptable, the overall impact of the changes made is not.*



- As approved, the attic storey sprung from the eaves line on the existing building and thus finished broadly in line with the head of the existing dormer windows. It also featured a decent roof cap which was pitched at the same angle as the existing hotel. As proposed, however, the changing position of the floor levels below has jacked up the position of the attic storey such that it now springs from above the eaves line. It would therefore feature a (presumably) shallower-pitched roof with less presence. In addition, this change would extend the animation on elevation such that the new build would be more impactful at high level (something which is definitely not in the spirit of the original hotel).

No changes are proposed in response to these concerns. Instead a justification has been put forward for the retention of the status quo which is based around nominal floor-to-floor dimensions. Whether this is another lapse, or a consequence of how the steel frame has been erected, is not something that merits further speculation. Rather, it just means that the valid concerns previously expressed about the increased visual impact at high level remain outstanding.

\* In offering this comment, C&D are rather less concerned about the changing position of the smaller square windows below which as approved did not obviously align with the existing building.

- It is not entirely clear what is proposed in respect of the front lean-to canopy over the entrance. As proposed, it has been shown as a simple line on both the northern and western elevations which clearly cannot be the case. It is therefore assumed that the full extent of the lean-to has simply not been drawn on the northern elevation.

The additional drawing has helped to clarify matters here with the canopy now considered to be acceptable.

- The change of facing materials is something that C&D should perhaps touch upon. As approved, these primarily featured a polychromatic mix of modular terracotta panels. As now proposed, however, these have been replaced by brick slips and rainscreen panels. With an overtly contrasting result inevitable either way, however, C&D do not consider this change to be materially harmful (hence why the revised materials were approved as part of the previous condition discharge).

Two additional matters have emerged on this front elevation: -

- The applicants are now of the opinion that the lattice vertical supports which run right up to attic level serve no useful purpose and are visually intrusive – they have therefore been removed from the scheme on both this and the southern elevation. This is not a view shared by C&D, however. Indeed we would argue that they would not only provide valuable support for the

canopy visually, but they would also contribute additional interest, depth and quality to the elevation as a whole. Their deletion therefore must be considered retrograde.

- Lowering the brick plinth was not something C&D previously referred to but has now been specifically mentioned by the applicant. For the record, however, this is not considered to be a substantive design issue.

### West Elevation

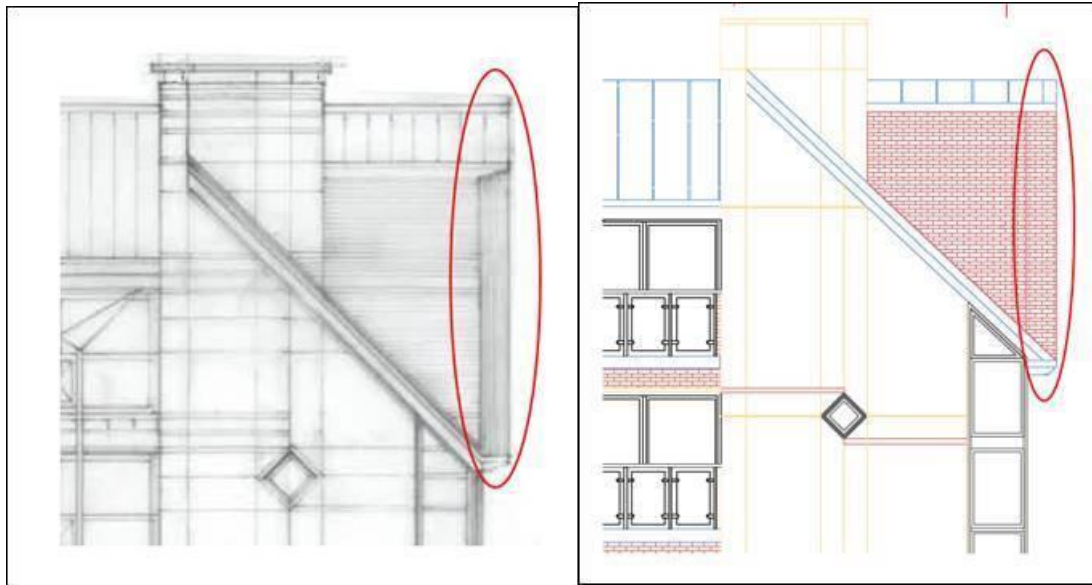
- As approved, the transition from the lift/stair tower to the accommodation was marked not only by a change of facing material but also by a change in the plane of the elevation. Not only did this reinforce the junction between the north and west-facing gables but it also added depth and interest to the elevation.

As proposed, however, this step would be removed and the two materials would be left to just run into each other with a flush butt joint. The net result would remove this important articulation and thus leave us with a comparatively flat and heavy looking elevation. It would also remove the ability to complete the feathered eaves line on the lift/stair tower.

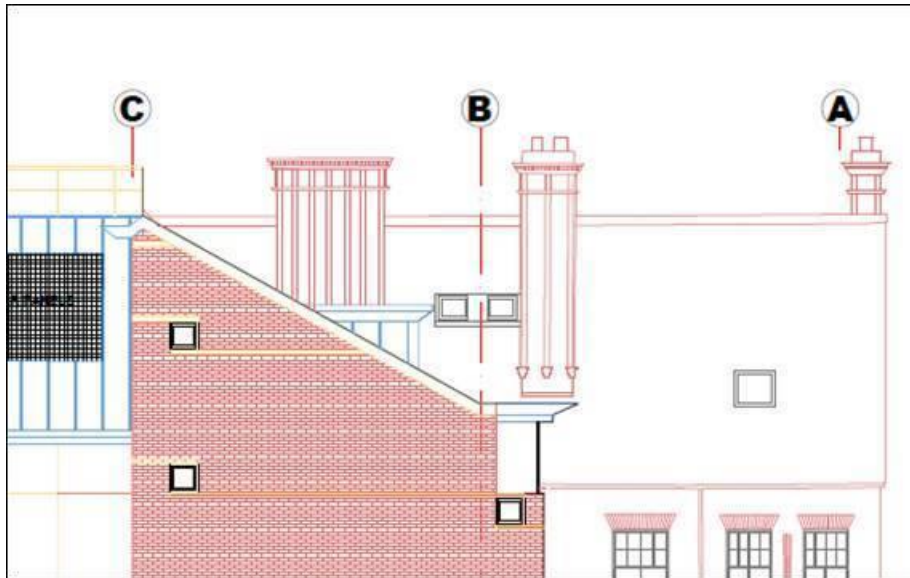
The amended plans show the Trespa cladding being pulled 200mm out from the face of the brick slips. Whilst it is not clear how this would be done in practice (presumably some kind of projecting form/stud work), this is not critical from a planning point of view. More relevant is the fact that it would reinstate some much needed relief and a shadow line between the two materials. It therefore must be regarded as a positive move.

- As approved, the west-facing gable featured a main pitch which appeared to match that of the main building. As a result, it had a degree of compatibility and an upright proportion which would have helped to draw the eye away from the overall scale and massing. It also featured a deep overhanging verge which would have provided a useful shadow line and visual cap. As proposed, however, the pitch of the roof has been slackened off to allow for the jacking up of the eaves at the back of the new build – the consequence would be a weightier and less elegant looking gable. It would also seemingly no longer have the overhanging verge detail (at least from what we can infer from the northern elevation – see before and after extracts below). Instead the indication is that it would only be capped with a less effective fascia board (unless the brick slip hatching has been wrongly applied).

In-line with the North and South Elevations, the pitch of the roof remains unchanged. Hence, the previously expressed concerns about the gable still apply. As regards the overhanging verge detail, it is noted that the accompanying notes talk about *all* eaves and verges having a minimum 300mm overhang the soffit/fascia. Whilst this is a welcome confirmation, this unfortunately does not appear to have made its way onto the North Elevation. Instead, the brick slips annotation is still showing as finishing flush with the roof slope above. Therefore, unless the underside of the soffit is unusually also being faced with slips, something is missing. Additionally, it is not clear what the thin downpipe-like depiction is that has appeared in this area. If it is actually a downpipe, one might have expected it to have also featured on the West Elevation for clarity.



- On another point of detail, this elevation shows two large chimneystacks on the existing building. However, only that on the gable end still appears to be in situ. Whether the applicants have knocked the other one down is unclear. The configuration of rooflights on the existing building also appears to be inaccurate (see images below).  
The configuration of rooflights has now been corrected but the absence of the second chimney on the proposed elevation appears to confirm that this has been taken down. Harm has therefore resulted from the loss of this important secondary stack.



### South Elevation

- As mentioned above, the south-facing roofslope as approved echoed the pitch of the building's existing roof. With it also springing from a point which was broadly equivalent to its original eaves line, there was a degree of compatibility across the existing and proposed elements. As proposed, however, the consequence of jacking up the roof pitch is to create an awkward upstand and tapering abutment between the two elements. Quite how this would be finished is not entirely clear from the plans submitted. However, resultant marriage is surely likely to be less comfortable. It would also seemingly be without the feathered eaves line again where the new meets the old.

**The latest plans have reinstated the feathered eaves line and have confirmed that the abutment between the existing and proposed elements would be faced with bricks slips. Beyond this, however, the differences between the two roof pitches would remain and thus a less comfortable co-existence would ensue.**

- As for the connection below eaves line, the position is far from clear when one compares the plans with the position on site – the fact that the former only show the existing building in outline certainly does not help in this regard. However, as far as can be determined, there is another corner post which it appears would be concealed with brick slips. If this is the case, it



would not be desirable if they simply finished flush with the existing brickwork (which looks like it may be possible).

The notes confirm that the corner post and brick slips would be set back 100mm from the existing rear elevation – something which appears to be borne out on site and is certainly better than the arrangement on the north side. The problems with interpretation stem from the setting out plans unhelpfully showing the existing building projecting some 4.5m out from the back wall of the extension. The lack of a new setting out plan above the 3<sup>rd</sup> floor also does not help in this regard.

- As approved, the dormer on this elevation would already be a fairly large proposition by virtue of its overall width. At least, however, the steeper roof pitch enabled the depth of this feature to be kept down so that one of its dimensions would have been commensurate with its high level position.

As proposed, however, the depth of the dormer (and its panes of glass) have been increased in size such that it would have an even greater impact within the roofscape. This is far from welcome given its likely visibility across the town.

The applicant are of the view that the increase in size would be small and is not detrimental to the elevation. Unfortunately this is not a view C&D share.

- As regards the balconies on this elevation, they appear to generally accord with the position of those approved. Whilst the same cannot be said for the supports and the little square windows, it is not considered that this elevational re-ordering would materially harm the overall end result.

As on the northern elevation, the removal of the vertical lattice framing is considered to be a retrograde move.

### Conclusion

Summarising, this is a scheme which has been both controversial and difficult from the outset. However, for better or worse it was approved and has set a form of benchmark against which we must judge these revised proposals. Unfortunately, in this regard, it has to be said that what is now before us is sadly lacking. For the reasons outlined above, C&D can only really conclude that the end result would not be of the same quality of the original proposal and would thus fail to accord with the provisions of para 130.

Whether this is down to original failings, cost-cutting or negligence is largely immaterial from a planning point of view. More important is what it would actually mean for the wider Sheringham Conservation Area. Here the conclusion is a simple one – due to the significance and prominence of the building, this is not a site where dilution can be contemplated. Instead, it demands the best possible result in order to give the scheme a fighting chance of preserving the overall significance of the designated area. Therefore, unless you feel that the public benefits accruing from the revised proposals outweigh the identified harm, the LPA would be obliged to refuse this application. In this regrettable event, the development being held up would be through no fault of the Council.

For the above reasons, it is difficult to see how C&D can reasonably be expected to reach a different conclusion to that previously expressed; i.e. that the end result would represent a dilution of quality on that originally approved. Whilst the gap may have closed in a few localised areas, it has remained the same or even opened up in other key respects. Therefore, it is with regret that support still cannot be offered to this application.

Chris

**From:** Chris Young  
**Sent:** 17 February 2021 17:01  
**To:** Phillip Rowson  
**Cc:** Jo Medler  
**Subject:** PF/20/1564 - Burlington Hotel, Sheringham

Phillip

Having been through the latest suite of documents received by the Local Planning Authority on the 10<sup>th</sup> February, Conservation & Design can now offer the following supplementary comments: -

Beginning with the positives.....

- The new plans provide for the reinstatement of the approved lattice supports on the front and rear elevations of the new build, and for the reinstatement of the removed eaves return and cornice details on the existing building. In the latter respect, the comment about the diagonal bracing being removed in the accompanying letter has been noted – as existing this would foul the reinstatement of this detail. However, it is not at all apparent on the accompanying plans where this deletion has been confirmed pictorially, or how the subsequent lack of lateral support would then be compensated for (or indeed when).
- We have also now received some clarity on the finish of the steel corner post immediately adjacent the existing building on the front elevation, and on the verge overhang detail at the head of the western elevation.
- We have been supplied with an up-to-date setting out plan for the 4<sup>th</sup> floor, although seemingly we still do not have one for the 5<sup>th</sup> floor.

These developments, along with the reduction in the depth of the dormer on the rear elevation, and the cladding projection on the western elevation previously acknowledged, demonstrate attempts have been made to address some of our previous concerns.

In reality, however, the amendments made relate principally to more superficial matters, or to where there were previously inaccuracies/uncertainties with the scheme. They do not drive at the heart of the more fundamental concerns around form and compatibility, and the overall dilution of quality. The outstanding concerns can therefore be summarised as follows: -

**1. The new build would represent a less respectful version of that approved.**

To recap, the original scheme purposely featured an indented step back from the front corner of the existing building. This was to ensure it paid due deference to the host structure and so that it had some regard for the stone dressings which turned the corner onto the west-facing gable. From this, the stair tower then stepped out to comfortably house the projecting balconies within the alcove created. By contrast, the new build would affectively be pulled forward in its entirety so that the whole of its leading edge (in the form of the steel framework) would sit forward of the existing building. Whilst the front wall of the flats would be indented behind this, the overall perception would still be of the 3D form and massing being extruded in its totality rather than additively and subserviently as approved – the way the balconies would then finish virtually flush with the front face of the overall structure would affectively see them being swallowed up visually, rather than expressed as approved. This, along with views of the stone dressings no longer being unobstructed, would simply reinforce the notion of the new build trumping the original hotel.

**2. The new build would represent a less refined/elegant version of that approved.**

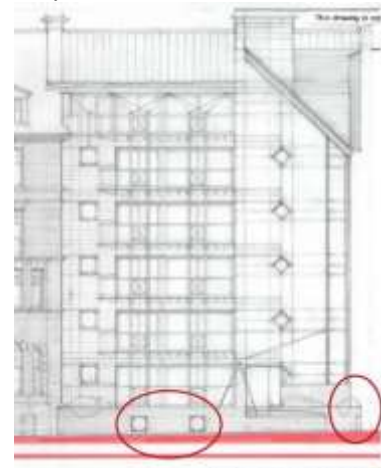
Particularly on the front elevation the extension would affectively 'lead' with its steelwork visually. Even if sections of this would be sheathed with curved aluminium profiles, the end result would still surely be a comparatively crude re-enactment of the original scheme. As approved, the skeleton would have remained silent and the balconies would have cantilevered gracefully out of the main elevation.

**3. The new build would represent a less compatible version of that approved at high level.**

The core of original scheme sought to echo the roof pitch of the core of the original building. In so doing, it would have not only obeyed one of the common ingredients of complementary design, but it would also have married up the main roof planes between existing and proposed. By contrast, the roof pitches front and back have been slackened as part of raising the main eaves line. The net result would inevitably mean the new build would 'plug' less successfully into, and would juxtapose more awkwardly with, the original hotel. It would also seemingly have consequences for the west elevation in terms of increasing its apparent width and bulk (even in its current skeletal form).

**4. The new build would represent a more assertive version of that approved at high level.**

One of the C&D concerns about the approved scheme was that it was unduly assertive at high level and would have detracted from the original hotel. Unfortunately the new scheme has exacerbated this by jacking up the roof structure and raising the level of the upper floors. Hence, on the front elevation, the 5<sup>th</sup> floor would now finish above, rather than level with, the existing dormers, whilst on the rear elevation the 4<sup>th</sup> floor would now finish above, rather than level with the main eaves line (NB: the small catslide roof on the backside of the building is not considered relevant to this debate visually).



Away from these broad concerns, three additional matters have come to light since the previous C&D comments were drafted; namely: -

- a) Unless there is another explanation for the palettes being labelled "Used Red Brick" (and quoting their size), it would appear that the plinth on the new build is currently being built using generic reclaimed bricks rather than bricks that have been salvaged from the demolished section of the hotel. Not only does this run contrary to the provisions of the original approval but it will inevitably have implications for compatibility.
- b) On the front elevation, it would appear that this plinth is being built entirely solid and will not feature the two square openings which were originally approved. As well as providing ventilation to the car park, these would have provided some interest to an otherwise blank wall at pavement level (as shown in the image).
- c) On the west side, the **previously** expressed plinth has gone and **now** been replaced with an equivalent which essentially **finishes** flush with the rest of the elevation (albeit the Trespa panels will superficially project out 200mm). Not only would this negate some of the visual contribution of the plinth but it could also affect the viability of the car park inside.

Each of these points (at face value at least) appear to serve as useful examples of how this scheme has evolved without any recourse to the LPA. They also helpfully contribute to the overall dilution of quality narrative which underpins this scheme. C&D have therefore not been persuaded that the scheme as now proposed would be compliant under paras 130 and 193 of the NPPF. Instead we remain very much of the opinion that it would result in 'less than substantial' harm being caused to

the Sheringham Conservation Area. Therefore, unless it is considered that there are material planning considerations or public benefits accruing from the scheme to outweigh the identified harm, the LPA would be obliged to refused the application in accordance with para 196 of the NPPF and s72 of the Planning (Listed Buildings & Conservation Areas) Act 1990.

Finally, before closing, hereunder lies some supplementary comments for the record on the latest documentation received: -

- The C&D objections to the original scheme have no direct bearing on our consideration of the current scheme – the issues raised and the overall context for our assessment are materially different.
- C&D fundamentally disagree with the contents of the Heritage Statement where it concludes that the amended scheme would relate better to the host building and that it would not make a material difference to the approved scheme's impact on the significance of this part of the conservation area. Whilst there is some common ground around the character of the area having been eroded over time, this is not seen as a justification for further harm being caused to one of the last vestiges of high Victoriana. After all there is no more prominent building within the town.
- The new east elevation which has been produced is considered to be of questionable value. This shows a view which is seldom experienced relatively speaking (the views are more angled), and is in any case not the true test. In reality, the aim should be set the new build in behind the main building line rather than level with its expressed bay windows.
- We have previously commented on the structural and practical justification put forward for the variations proposed. As before, it remains unclear whether these matters are the result of oversight or by (re)design. Either way, the structural calculations provide little assistance in terms of establishing which of the differing version of events ring truest.
- In approving the balcony details under the previous condition discharge application, it is disingenuous to suggest that the plans were available at the time and that the fundamental objections should have been raised at the time. These details were in fact presented in isolation against a backdrop of a scheme that was constantly evolving as new issues came to light. In any event, fundamental objections have been raised from the outset.
- It is now acknowledged that the removal of the second chimney on the west elevation formed part of the original approval.

**Chris Young**

Conservation Design & Landscape Team Ldr